

# INSPECTION REPORT



For the Property at:  
**123 TEST INSPECTION BLVD SW**  
CALGARY, AB T2W5Z9

Prepared for: JOHN & JANE SMITH  
Inspection Date: Sunday, March 5, 2017  
Prepared by: Shawn Paradis



Home Logic Inspections Ltd.  
509 Douglas Woods Mews SE  
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[info@homelogicinspections.ca](mailto:info@homelogicinspections.ca)

Smart homeownership starts here!



July 2, 2017

Dear John & Jane Smith,

RE: Report No. 1004, v.2  
123 TEST INSPECTION Blvd SW  
Calgary, AB  
T2W5Z9

Thank you very much for choosing Home Logic Inspections Ltd. to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Shawn Paradis  
on behalf of  
Home Logic Inspections Ltd.

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## INVOICE

July 2, 2017

Client: John & Jane Smith

Report No. 1004, v.2

For inspection at:

123 TEST INSPECTION Blvd SW

Calgary, AB

T2W5Z9

on: Sunday, March 5, 2017

(Free Home Inspection) PROMO

\$0.00

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PAID IN FULL - THANK YOU!

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# SUMMARY

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SUMMARY

ROOFING

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**Note:** For the purpose of this report the building is considered to be facing **West**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • [Near end of life expectancy](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout

**Time:** Less than 2 years

**Cost:** Major

**Condition:** • [Cupping, curling, clawing](#)

shingles curling

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Exterior

**Task:** Replace

**Time:** Less than 2 years

**Cost:** Major

**Condition:** • [Missing, loose or torn](#)

Missing shingles, minor roof leak

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Southeast Exterior

**Task:** Repair or replace

**Time:** Immediate

**Condition:** • [Multiple layers](#)

added weight to overall structure

**Implication(s):** Shortened life expectancy of material

**Location:** Throughout

**Task:** Replace

**Time:** Less than 2 years

**Cost:** Major

### SLOPED ROOF FLASHINGS \ Valley flashings

**Condition:** • [Fasteners exposed](#)

Some of the vent fasteners are missing, exposed and rusting.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Exterior

**Time:** When remodelling

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## Exterior

### ROOF DRAINAGE \ Downspouts

**Condition:** • [Downspouts end too close to building](#)

discharge too close to building

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Garage

**Task:** Improve

**Time:** Less than 1 year

**Condition:** • [Downspouts discharging onto roofs](#)

Roof Damage from water discharge on East Garage

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Exterior Garage

**Task:** Improve

**Time:** Immediate

### WALLS \ Vinyl siding

**Condition:** • [Mechanical damage](#)

Mechanical Damage to siding on South Side phone, gas and cable entrances

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** South First Floor

**Task:** Improve

**Time:** Discretionary

### LANDSCAPING \ Driveway

**Condition:** • [Cracked or damaged surfaces](#)

concrete slabs sinking in driveway

**Implication(s):** Trip or fall hazard

**Location:** Driveway

**Time:** If necessary

### LANDSCAPING \ Walkway

**Condition:** • [Uneven \(trip hazard\)](#)

Trip hazard at main entrance walkway (sinking concrete slab)

**Implication(s):** Physical injury

**Location:** East West Front Rear

**Task:** Improve

**Time:** Discretionary

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## Electrical

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [Loose](#)

Loose exterior power recepticle

**Implication(s):** Electric shock | Fire hazard

**Location:** North First Floor Exterior Wall

**Task:** Repair

## Heating

### GAS FURNACE \ Life expectancy

**Condition:** • [Near end of life expectancy](#)

**Implication(s):** Equipment failure | No heat for building

**Location:** Basement Laundry Area Furnace Room

**Task:** Service Service annually

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)



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## Description

The home is considered to face : • West

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Probability of leakage: • Medium • Low

## Limitations

Inspection performed: • By walking on roof • With binoculars from the ground • From roof edge

## Recommendations

### RECOMMENDATIONS \ Overview

1. **Condition:** • Roof overall is near end of life and a replacement should be considered to prevent structural damage

**Implication(s):** Water entry into living space

**Location:** Throughout Exterior

**Task:** Replace

**Time:** Less than 2 years

### SLOPED ROOFING \ Asphalt shingles

2. **Condition:** • [Old, worn out](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure



1. Old, worn out



2. Old, worn out

3. **Condition:** • [Near end of life expectancy](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout

**Time:** Less than 2 years

**Cost:** Major

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## 4. Condition: • [Cupping, curling, clawing](#)

shingles curling

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Exterior

**Task:** Replace

**Time:** Less than 2 years

**Cost:** Major



3. *Cupping, curling, clawing*

## 5. Condition: • [Damage](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Southwest

**Task:** Repair

**Time:** Immediate

## 6. Condition: • [Missing, loose or torn](#)

Missing shingles, minor roof leak

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Southeast Exterior

**Task:** Repair or replace

**Time:** Immediate



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4. Missing, loose or torn



5. Missing, loose or torn

## 7. Condition: • [Multiple layers](#)

added weight to overall structure

**Implication(s):** Shortened life expectancy of material

**Location:** Throughout

**Task:** Replace

**Time:** Less than 2 years

**Cost:** Major



6. Multiple layers

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## SLOPED ROOF FLASHINGS \ Valley flashings

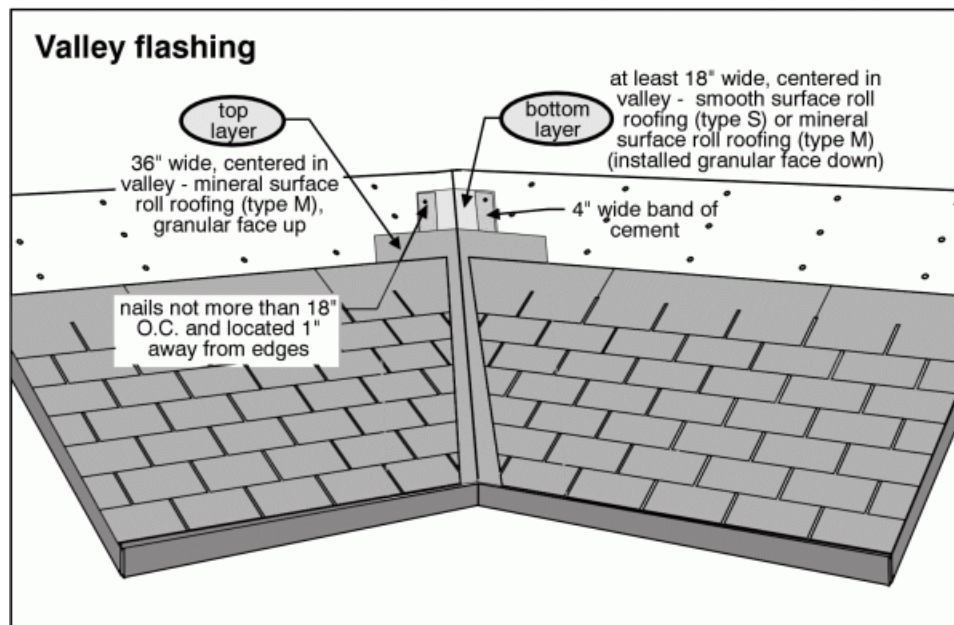
### 8. Condition: • [Fasteners exposed](#)

Some of the vent fasteners are missing, exposed and rusting.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Exterior

**Time:** When remodelling



## SLOPED ROOF FLASHINGS \ Roof/wall flashings

### 9. Condition: • [Missing](#)

A piece of vinyl flashing is missing over the living room window

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** West Exterior Wall Living Room

**Task:** Provide

**Time:** Discretionary

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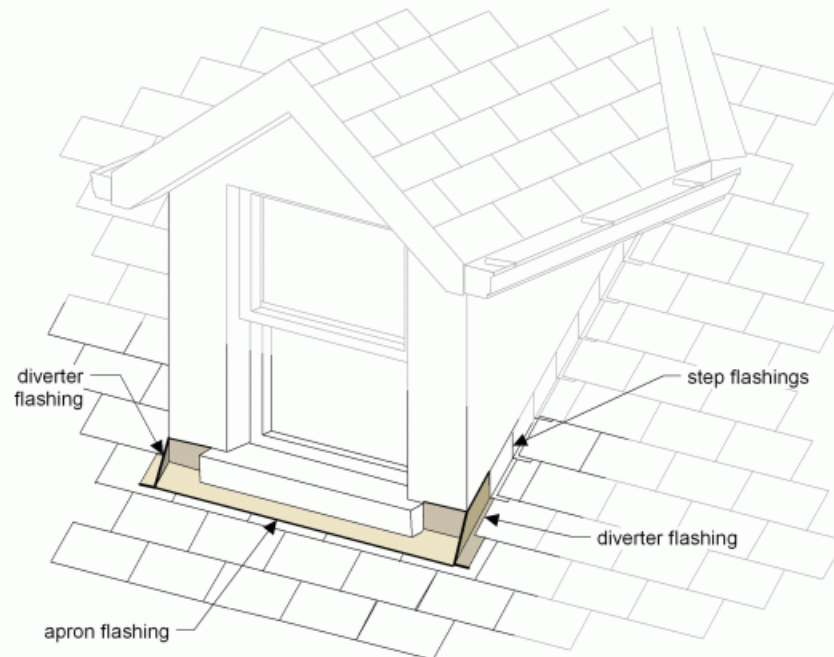
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## Diverter flashing



7. Missing

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## Description

**Gutter & downspout material:** • [Aluminum](#)  
**Gutter & downspout type:** • [Eave mounted](#)  
**Gutter & downspout discharge:** • [Below grade](#) • [Above grade](#)  
**Downspout discharge:** • [Below grade](#) • [Above grade](#)  
**Lot slope:** • [Away from building](#)  
**Wall surfaces and trim:** • [Vinyl siding](#)  
**Soffit and fascia:** • [Aluminum](#)  
**Driveway:** • Concrete  
**Walkway:** • Concrete  
**Deck:** • Ground level • Wood  
**Porch:** • Concrete  
**Fence:** • Wood

## Limitations

**Inspection limited/prevented by:** • Storage in garage  
**Upper floors inspected from:** • Ground level  
**Exterior inspected from:** • Ground level

## Recommendations

### ROOF DRAINAGE \ Gutters

**10. Condition:** • [Clogged](#)

A lot of Debris observed in gutters

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout

**Task:** Clean

**Time:** Regular maintenance



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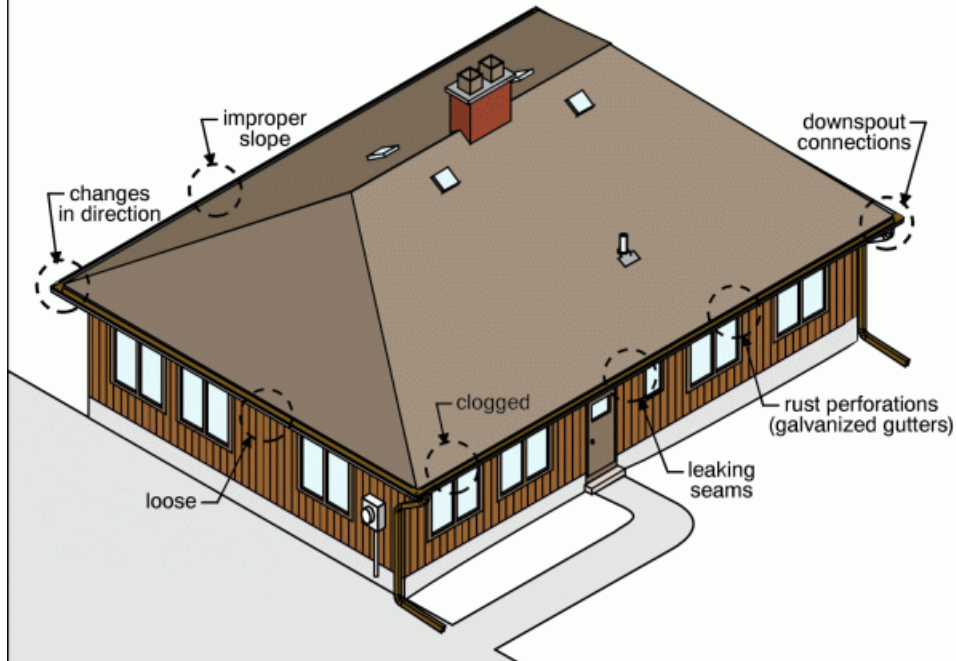
INSULATION

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## Gutters - common reasons for leakage



8. Clogged

### ROOF DRAINAGE \ Downspouts

11. Condition: • [Downspouts discharging below grade](#)

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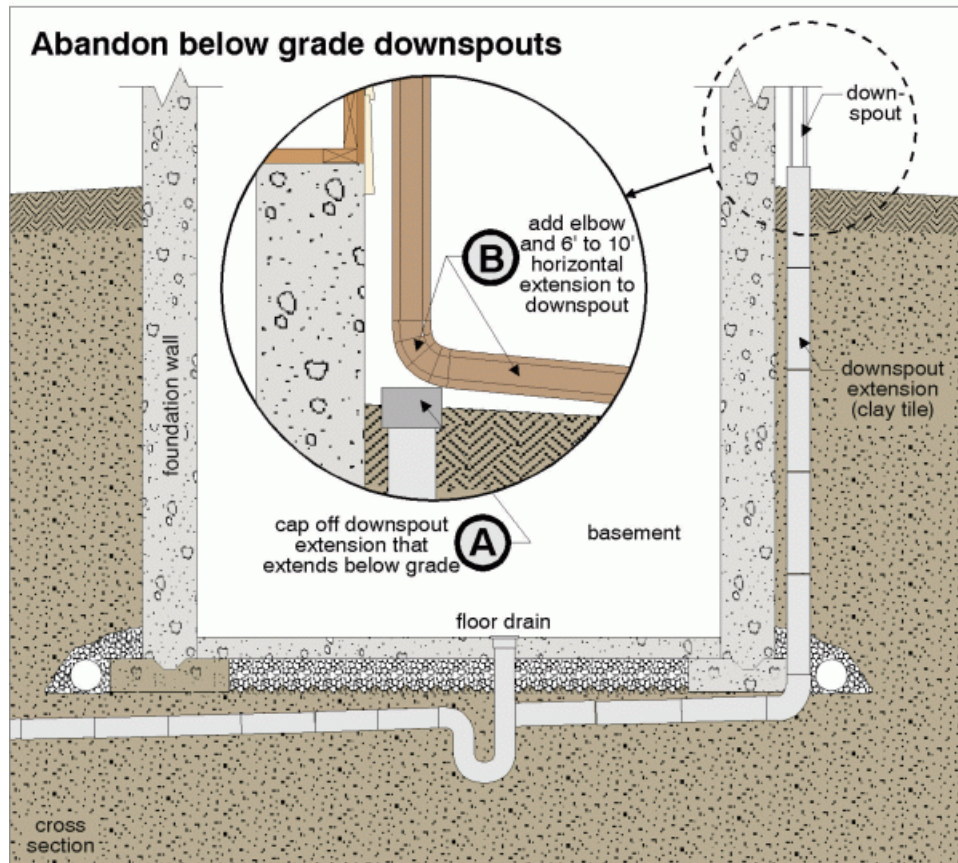
REFERENCE

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Monitor

**Time:** If necessary



**12. Condition:** • [Downspouts end too close to building](#)

discharge too close to building

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Garage

**Task:** Improve

**Time:** Less than 1 year



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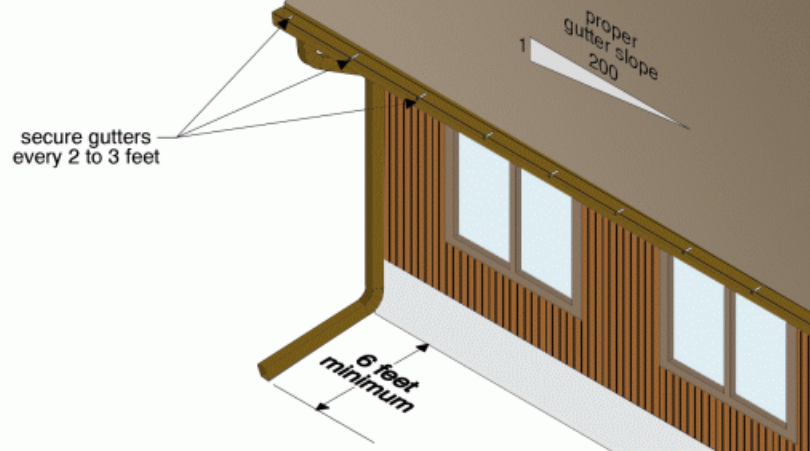
INSULATION

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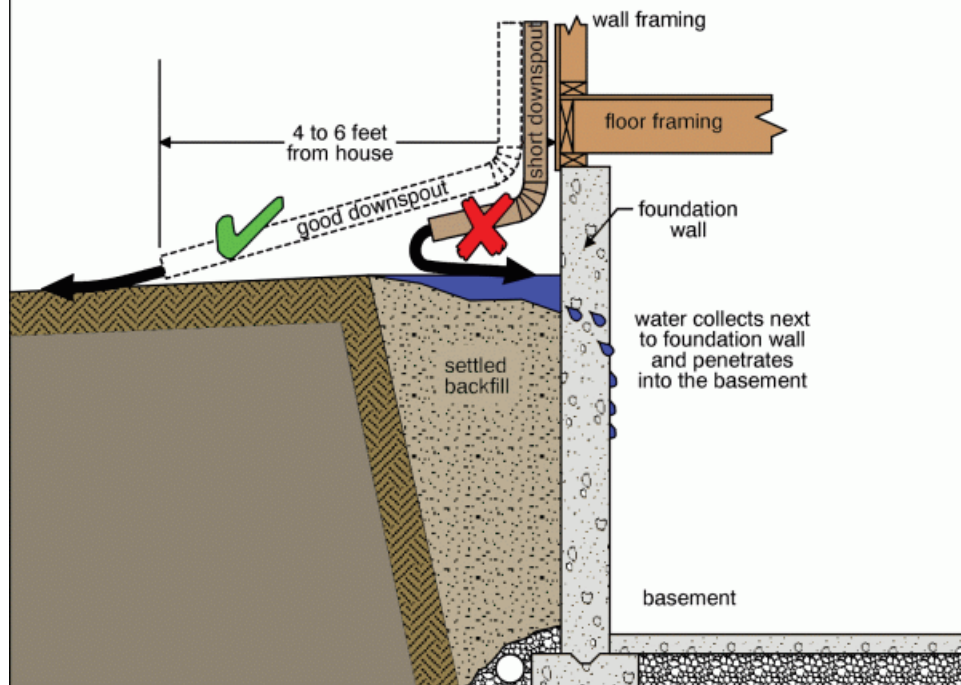
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## Gutter and downspout installation



## Downspout extension too short



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9. Downspouts end too close to building

## 13. Condition: • [Downspouts discharging onto roofs](#)

Roof Damage from water discharge on East Garage

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Exterior Garage

**Task:** Improve

**Time:** Immediate

### Downspout running across roof

installing a downspout (from the secondary roof to the main gutter below) helps prevent localized roof wear





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10. Discharging onto roof

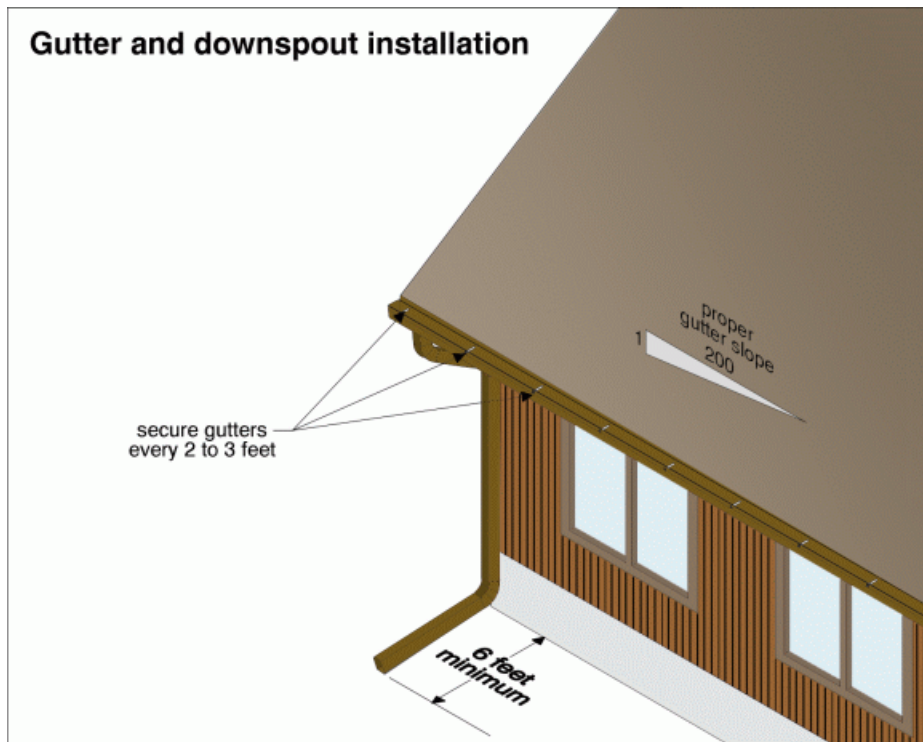


11. Discharging onto roof

14. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout



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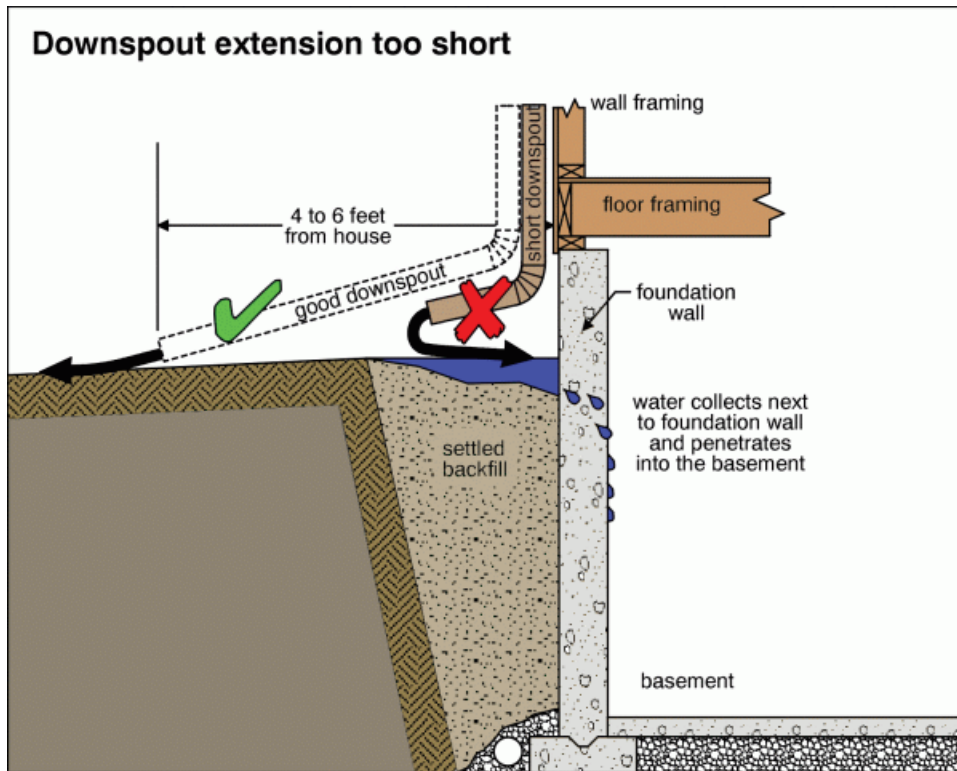
COOLING

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## WALLS \ Vinyl siding

### 15. Condition: • [Mechanical damage](#)

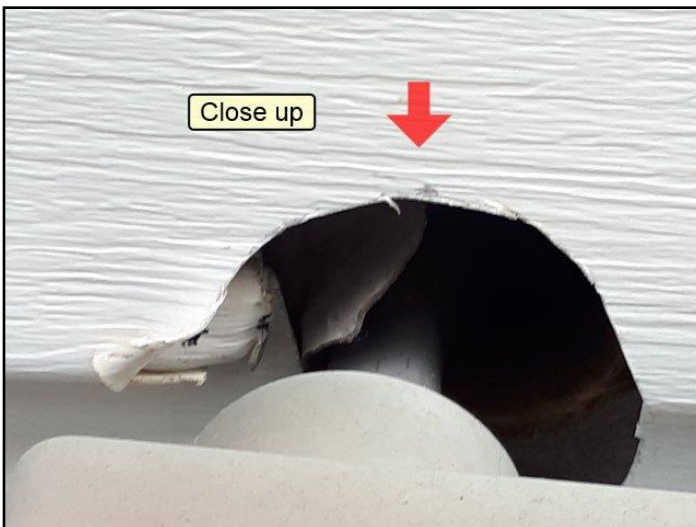
Mechanical Damage to siding on South Side phone, gas and cable entrances

**Implication(s):** Chance of water damage to contents, finishes and/or structure

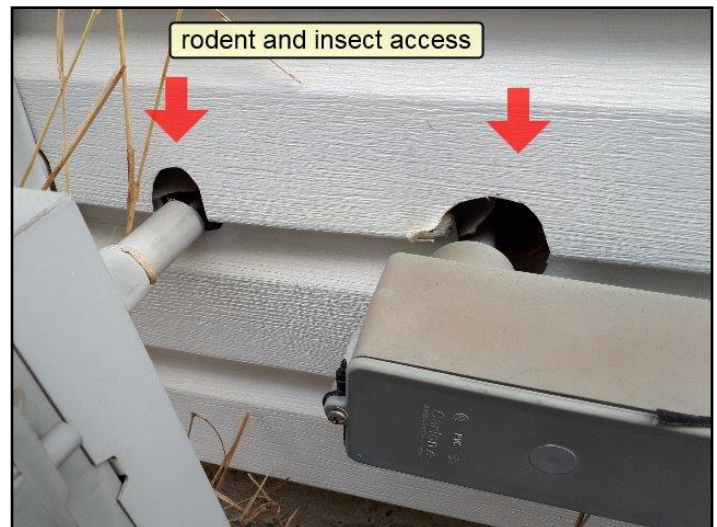
**Location:** South First Floor

**Task:** Improve

**Time:** Discretionary



12. Mechanical damage



13. Mechanical damage



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## EXTERIOR GLASS/WINDOWS \ General

**16. Condition:** • [Caulking missing, loose or deteriorated](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout

**Time:** Discretionary Regular maintenance

## EXTERIOR GLASS/WINDOWS \ Window wells

**17. Condition:** • window well full of debris

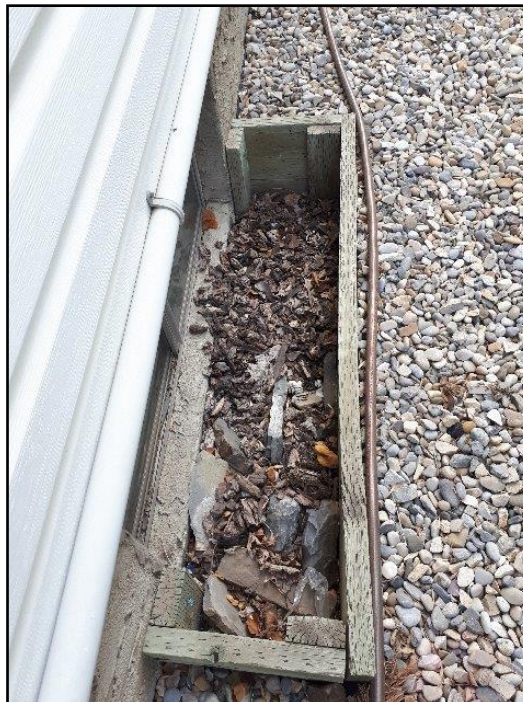
**Implication(s):** water line higher than window opening (water entry possible)

**Location:** South Basement Laundry Area Utility Room

**Task:** Improve

**Time:** Less than 1 year

**Cost:** Minor



14.

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

**18. Condition:** • [Rot](#)

Some of the deck boards are showing signs of Rot

**Implication(s):** Weakened structure

**Location:** Throughout

**Task:** Service annually

**Time:** Regular maintenance

## LANDSCAPING \ Driveway

**19. Condition:** • [Cracked or damaged surfaces](#)

concrete slabs sinking in driveway

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**Implication(s):** Trip or fall hazard

**Location:** Driveway

**Time:** If necessary



15. Cracked or damaged surfaces

## LANDSCAPING \ Walkway

**20. Condition:** • [Uneven \(trip hazard\)](#)

Trip hazard at main entrance walkway (sinking concrete slab)

**Implication(s):** Physical injury

**Location:** East West Front Rear

**Task:** Improve

**Time:** Discretionary



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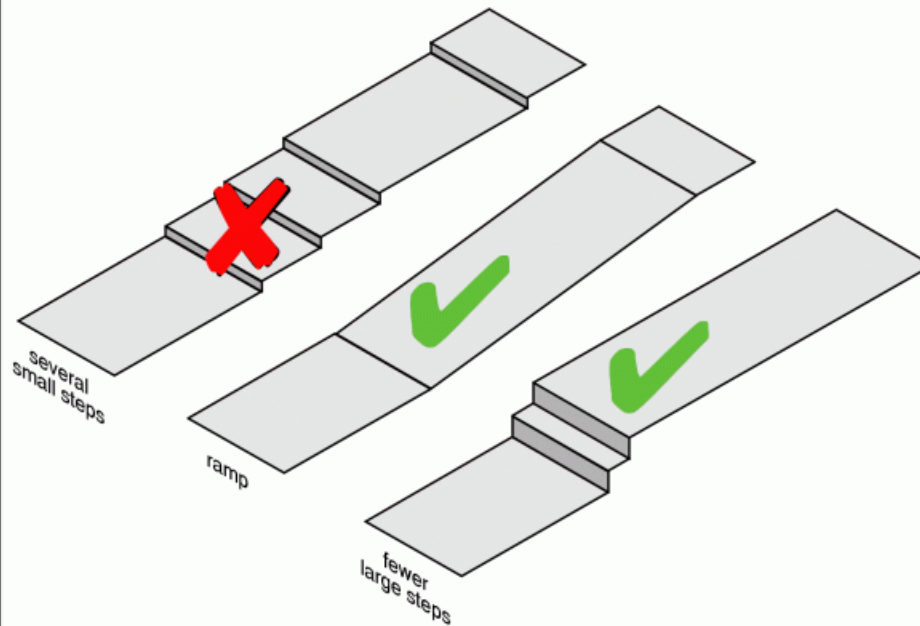
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## Walkway steps



16. Uneven (trip hazard)

### LANDSCAPING \ Fence

21. **Condition:** • Boards damaged

Rot observed

**Implication(s):** Material deterioration | Poor security

**Location:** Throughout

**Task:** Repair or replace

**Time:** Discretionary Regular maintenance

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17. Boards damaged

**22. Condition:** • Damage

**Implication(s):** Material deterioration

**23. Condition:** • Deteriorated

**Implication(s):** Material deterioration

**24. Condition:** • Gate - adjustment needed

Both yard east and west gates require adjustment

**Implication(s):** Reduced operability

**Location:** East West

**Task:** Repair

**Time:** Discretionary

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18. Gate - adjustment needed

## GARAGE \ Vehicle doors

25. Condition: • No lock on garage vehicle door

26. Condition: • Weather strip damaged

Implication(s): Moisture entry, insect access

Location: East

Task: Repair

Time: Less than 1 year

27. Condition: • Dented

Time: Discretionary

## IRRIGATION / SPRINKLER SYSTEM \ Observations

28. Condition: • Backflow prevention device missing

Implication(s): Contaminated drinking water

## Description

**Configuration:** • [Basement](#) • [Crawl space](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Joists](#) • Steel columns • Subfloor - plywood

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • [Rafters/roof joists](#) • [Plywood sheathing](#)

## Limitations

**Inspection limited/prevented by:** • Wall, floor and ceiling coverings • Carpet/furnishings • Storage • New finishes/paint

**Attic/roof space:** • Entered but access was limited

**Percent of foundation not visible:** • 95 %

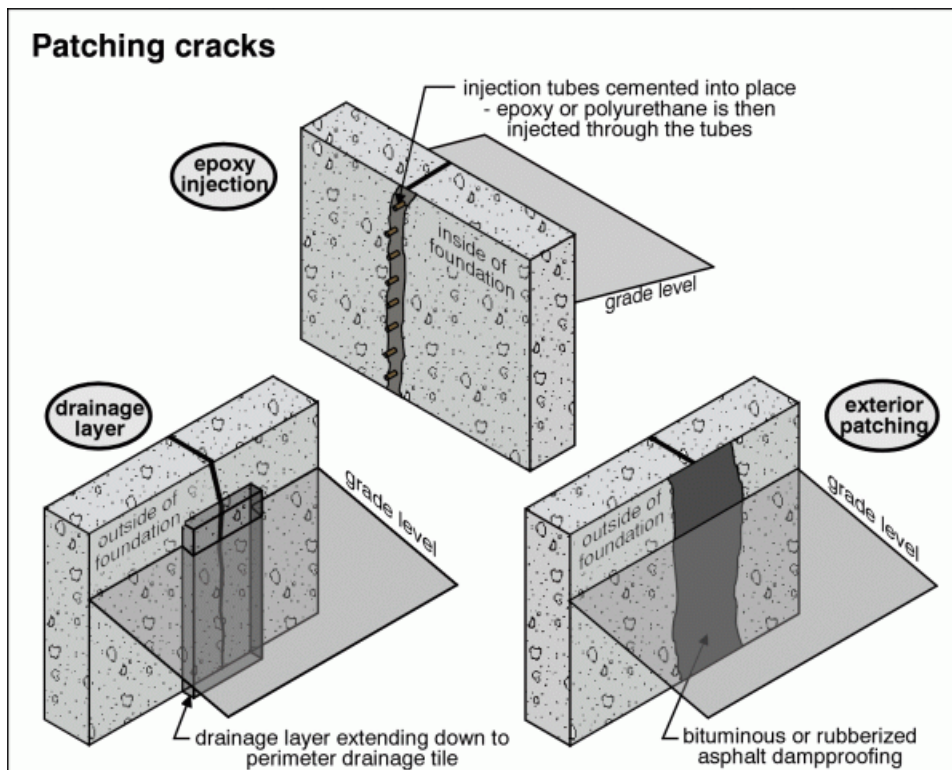
## Recommendations

### FOUNDATIONS \ Foundation

**29. Condition:** • Typical minor cracks

**Implication(s):** Chance of water entering building

**Location:** Various Crawl Space





## Crack repair - epoxy and polyurethane injection

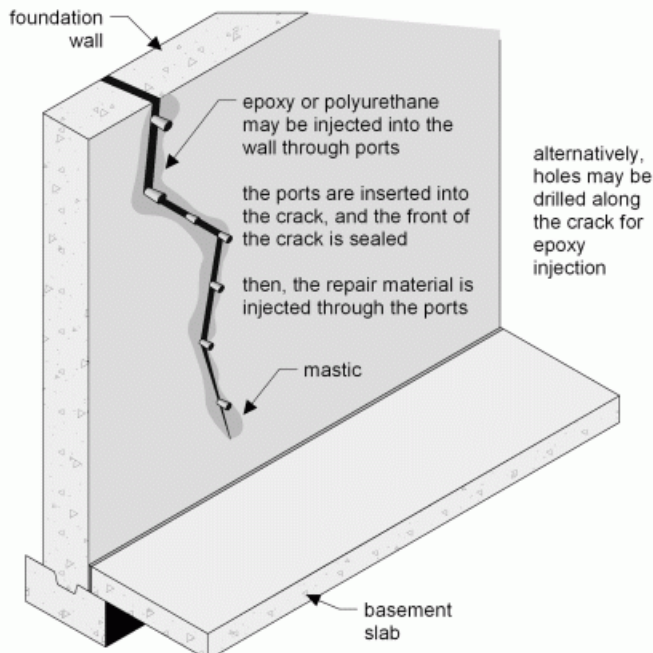
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



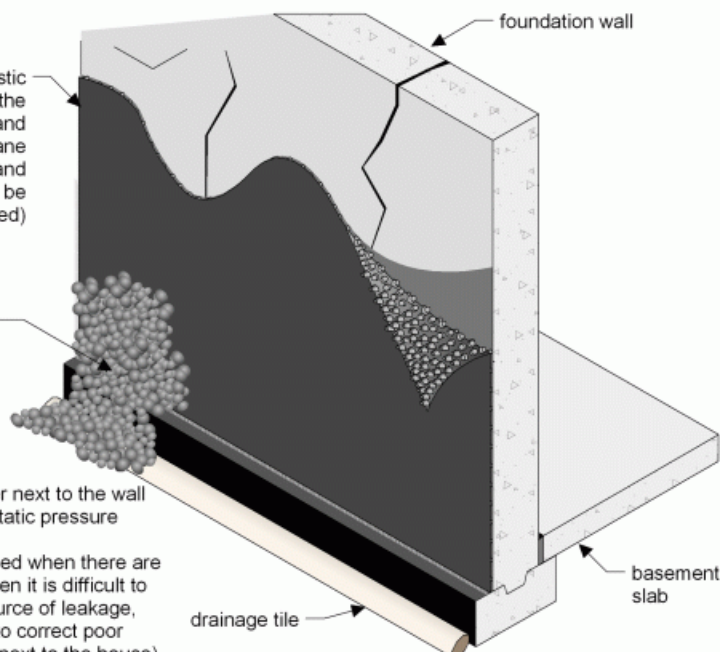
## Crack repair - drainage layer

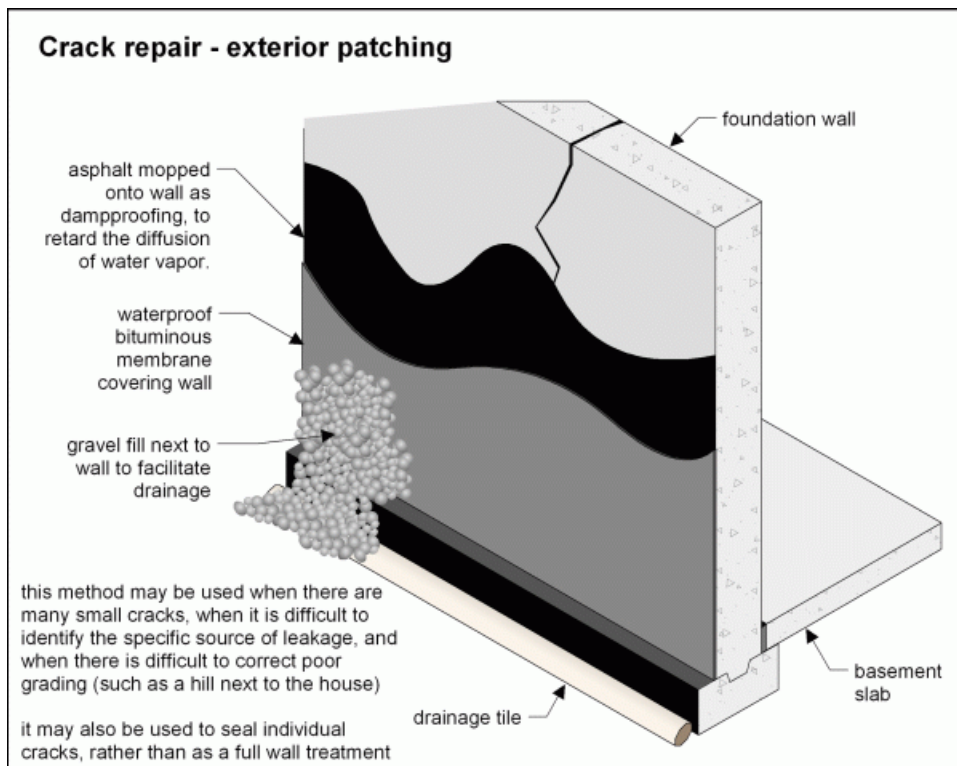
dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).





## FOUNDATIONS \ Performance opinion

**30. Condition:** • No defects noted

**Location:** Throughout Crawl Space Basement

## ROOF FRAMING \ Sheathing

**31. Condition:** • [Water stains](#)

Water stains on sheathing in both attics

**Implication(s):** Material deterioration

**Location:** South Attic

**Task:** Monitor



# STRUCTURE

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19. Water stains



20. Water stains



21. Water stains

## Description

**Service entrance cable and location:** • [Underground copper](#)

**Service size:**

- [100 Amps \(240 Volts\)](#)



22. 100 Amps (240 Volts)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel rating:** • [100 Amps](#)

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#)

**Smoke detectors:** • [Present](#)

**Carbon monoxide (CO) detectors:** • Present

## Limitations

**System ground:** • Continuity not verified

## Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

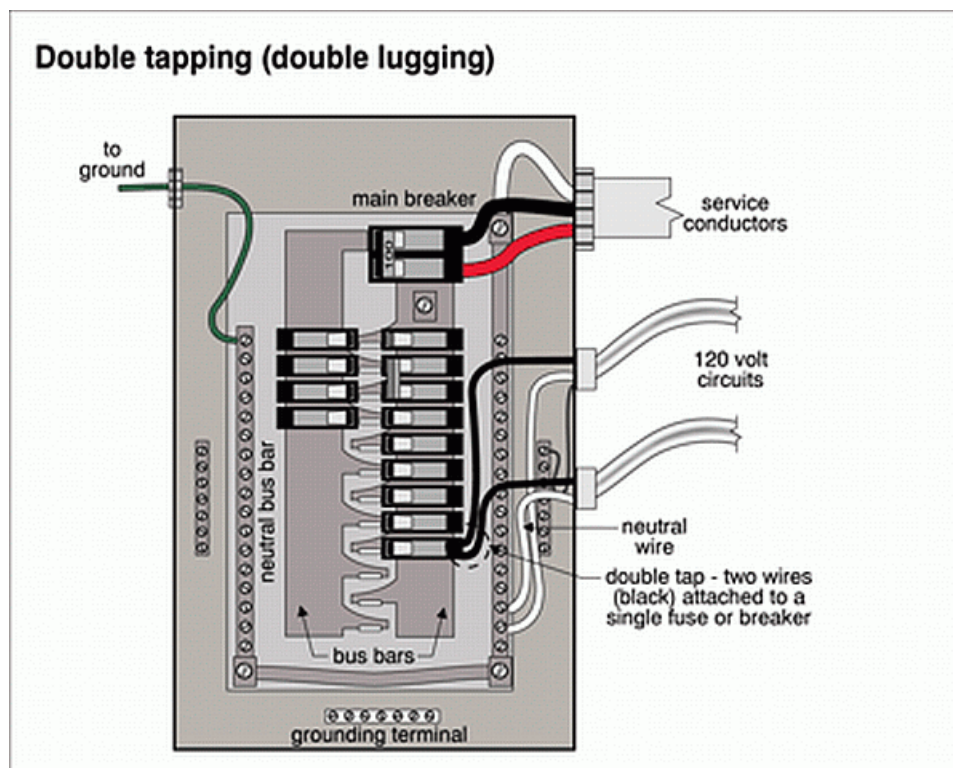
**32. Condition:** • [Double taps](#)

Double Tap

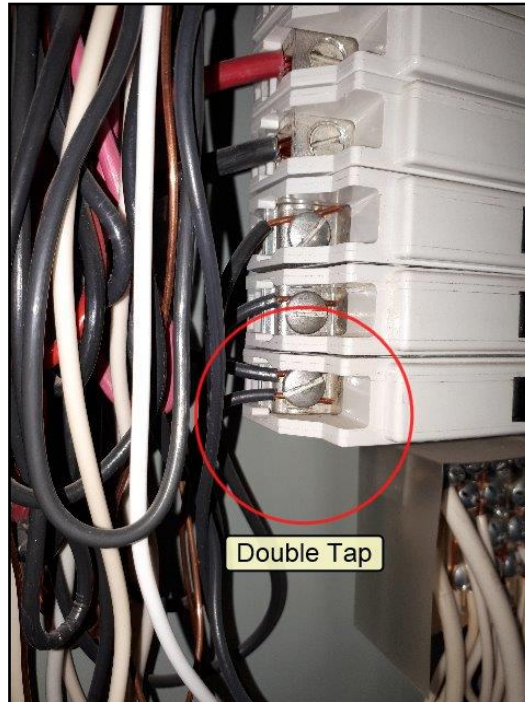
**Implication(s):** Fire hazard

**Location:** Basement

**Task:** Further evaluation







23. Double taps

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

33. Condition: • [Loose](#)

Loose exterior power receptacle

**Implication(s):** Electric shock | Fire hazard

**Location:** North First Floor Exterior Wall

**Task:** Repair



24. Loose

# HEATING

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## Description

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Furnace manufacturer:** • Airco Furnace (Original with home)

*Model number:* AHES-115D *Serial number:* AJ-5121

**Heat distribution:** • [Ducts and registers](#)

**Efficiency:** • [Conventional](#)

**Exhaust venting method:** • [Direct vent](#)

**Typical life expectancy:** • Furnace (conventional or mid-efficiency) 18 to 25 years

**Main fuel shut off at:** • Meter

**Failure probability:** • [High](#)

**Fireplace/stove:**

• Non-functional

Gas fire place removed in mid floor bedroom, Chimney capped off. (abandoned chimney)

**Chimney liner:** • B-vent (double-wall metal liner)

**Humidifiers:** • [Drum type](#)

## Limitations

**Heat exchanger:** • Only a small portion visible

## Recommendations

**GAS FURNACE \ Life expectancy**

**34. Condition:** • [Near end of life expectancy](#)

**Implication(s):** Equipment failure | No heat for building

**Location:** Basement Laundry Area Furnace Room

**Task:** Service Service annually

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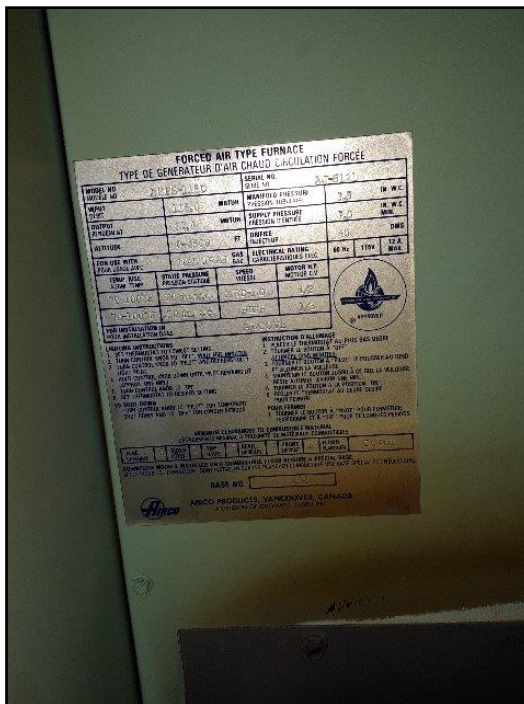
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25. Near end of life expectancy

35. Condition: • Old

Implication(s): Equipment failure | No heat for building



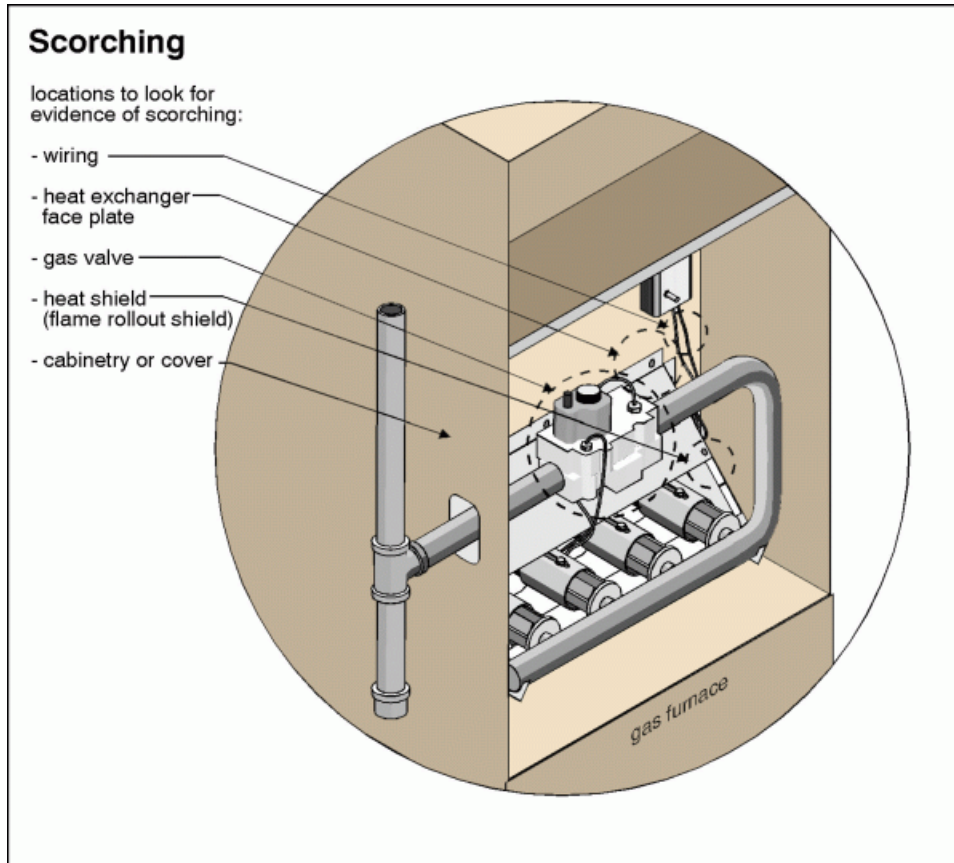
26. Old



## GAS FURNACE \ Gas burners

36. Condition: • [Scorching](#)

Implication(s): Equipment not operating properly | Fire or explosion



37. Condition: • [Rust](#)

Implication(s): Shortened life expectancy of material | Material deterioration

38. Condition: • [Dirt or soot](#)

Implication(s): Equipment not operating properly | Increased heating costs | Reduced comfort

39. Condition: • [Flame wavers when fan comes on](#)

Implication(s): Equipment failure | Hazardous combustion products entering home

## GAS FURNACE \ Heat exchanger

40. Condition: • [Cracks, holes or rust](#)

Implication(s): Reduced system life expectancy | Hazardous combustion products entering home

41. Condition: • [Soot or deposits](#)

Rusted heat exchanger, soot deposits

Implication(s): Equipment not operating properly | Increased heating costs | Reduced comfort

Task: Service Service annually

Time: Less than 1 year

# HEATING

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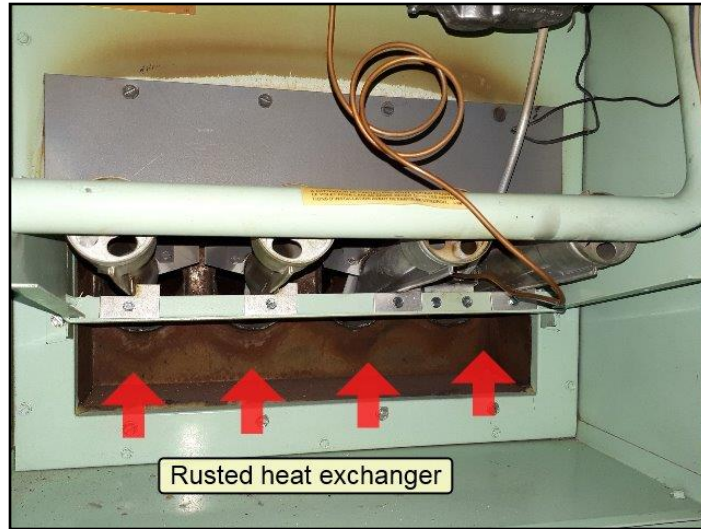
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27. Soot or deposits

## GAS FURNACE \ Capacity

42. Condition: • [Undersized](#)

Implication(s): Increased heating costs | Reduced comfort

Task: Improve

# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • None present

# INSULATION AND VENTILATION

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## Description

Attic/roof insulation material: • [Glass fiber](#) • [Cellulose](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Wall insulation material: • [Glass fiber](#)

Wall air/vapor barrier: • Plastic

Foundation wall insulation material: • [Glass fiber](#)

Foundation wall air/vapor barrier: • Plastic

Floor above basement/crawlspace insulation material: • None found

Floor above basement/crawlspace air/vapor barrier: • None found

Crawlspace ventilation: • [Into basement](#)

## Limitations

Attic inspection performed: • By entering attic, but access was limited

## Recommendations

### OPTIONAL \ Insulation

43. Condition: • Other

Damaged Air/Vapor Barrier

Location: Crawl Space

Task: Repair

Time: Discretionary



28. Other



## ATTIC/ROOF \ Insulation

**44. Condition:** • [Gaps or voids](#)

**Implication(s):** Increased heating and cooling costs | Reduced comfort

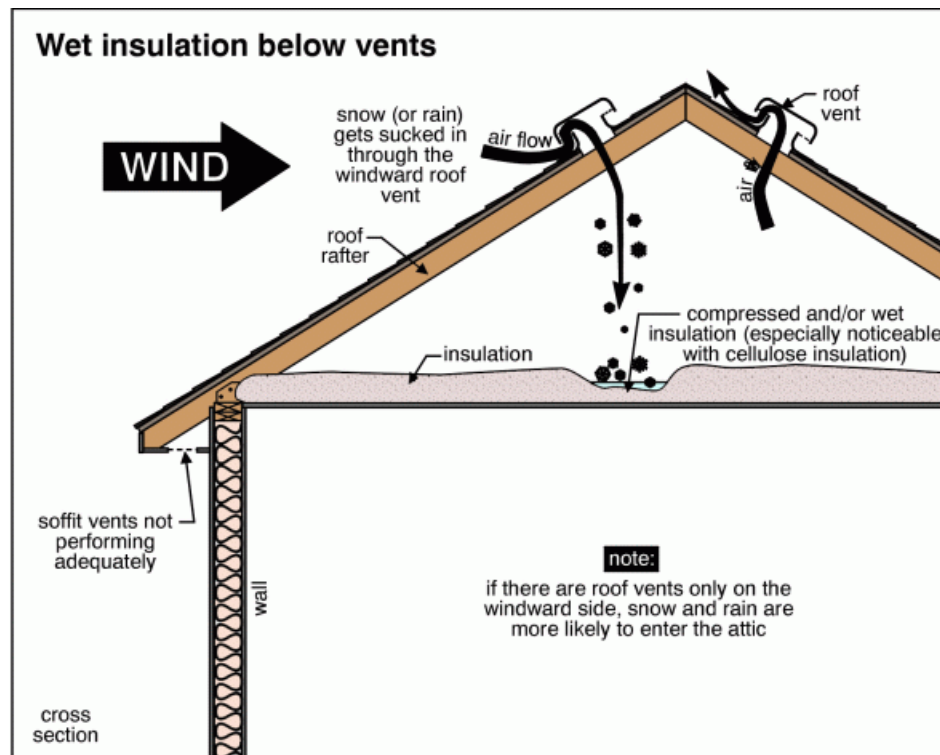
**Location:** Attic

**Task:** Improve

**Time:** Less than 1 year

**45. Condition:** • [Compressed](#)

**Implication(s):** Increased heating and cooling costs | Reduced comfort



## FOUNDATION \ Crawlspace floor

**46. Condition:** • Efflorescence

**Implication(s):** Concrete deterioration over time

**Location:** small sections in Crawl Space

**Task:** Further evaluation

**Time:** Unknown

# INSULATION AND VENTILATION

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29.

## Description

**Water supply source:** • Public

**Supply piping in building:** • Polybutylene (PB)

**Main water shut off valve at the:** • Basement

**Water flow and pressure:** • [Typical for neighborhood](#)

**Water heater type:**

• [Conventional](#)

RHEEM 50 US GAL 2016 (Newer)

*Model number:* Pro-G50S-45N CN58 *Serial number:* 0281618682



30. Conventional

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Natural draft

**Tank capacity:** • 50 gallons

**Water heater approximate age:** • 1 year

**Typical life expectancy:** • 8 to 12 years

**Water heater failure probability:** • [Low](#)

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [PVC plastic](#)

**Floor drain location:** • Near heating system

**Gas piping:** • Steel

**Main fuel shut off valve at the:** • Basement

**Exterior hose bibb:** • Present

## Limitations

**Items excluded from a building inspection:** • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Water treatment equipment • Pool

## Recommendations

### SUPPLY PLUMBING \ Supply piping in building

**47. Condition:** • [Polybutylene](#)

rust seen on some connectors in utility room

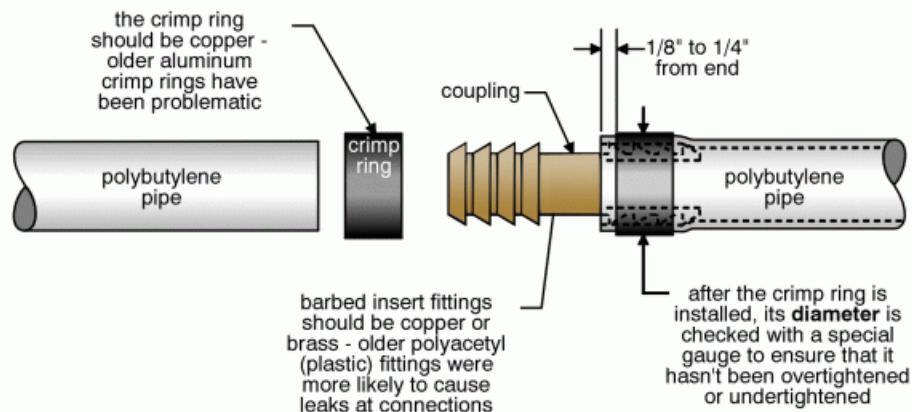
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Leakage

**Location:** Throughout

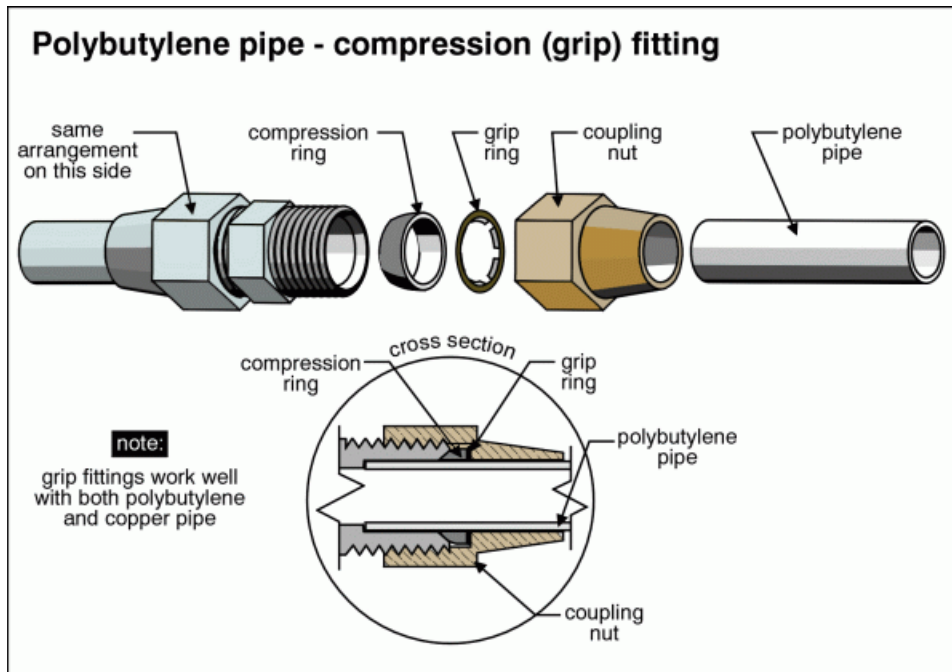
**Task:** Monitor

**Time:** Ongoing

### Polybutylene pipe - crimp fitting







## WASTE PLUMBING \ Floor drain

### 48. Condition: • [No trap](#)

Sewer Odor, possible no trap installed or drain is dry

**Implication(s):** Sewer gases entering the building | Increased heating costs | Reduced comfort

**Location:** Basement Laundry Area Furnace Room

**Task:** Improve

**Time:** Discretionary



31. No trap

### 49. Condition: • [Grate missing, rusted or obstructed](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

# PLUMBING

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**Location:** Basement Laundry Area Furnace Room

**Task:** Clean

**Time:** Discretionary

## FIXTURES AND FAUCETS \ Faucet

**50. Condition:** • [Loose](#)

**Implication(s):** Equipment failure

## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**51. Condition:** • [Leak](#)

Suspected past drain leak, contents dry at inspection

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Sewage entering the building

**Location:** First Floor Kitchen

**Task:** Monitor

**Time:** Ongoing



32. Leak

## FIXTURES AND FAUCETS \ Shower stall

**52. Condition:** • [Slow drains](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various

## FIXTURES AND FAUCETS \ Shower stall enclosure

**53. Condition:** • [Caulking loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Bathroom

# PLUMBING

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**Task:** Improve

**Time:** Discretionary

# INTERIOR

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## Description

**Major floor finishes:** • [Carpet](#) • Vinyl

**Major wall finishes:** • [Plaster/drywall](#)

**Major ceiling finishes:** • [Stucco/texture/stipple](#)

**Major wall and ceiling finishes:** • [Gypsum board](#)

**Windows:** • Vinyl

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Metal](#)

**Doors:** • Inspected

**Evidence of basement leakage:** • Efflorescence

**Oven fuel:** • Electricity

**Laundry facilities:** • Washer • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet

**Kitchen ventilation:** • Range hood • Discharges to exterior

**Bathroom ventilation:** • Exhaust fan

**Stairs and railings:** • Inspected

**Inventory Garage Door Opener:** • Older model but functional

## Limitations

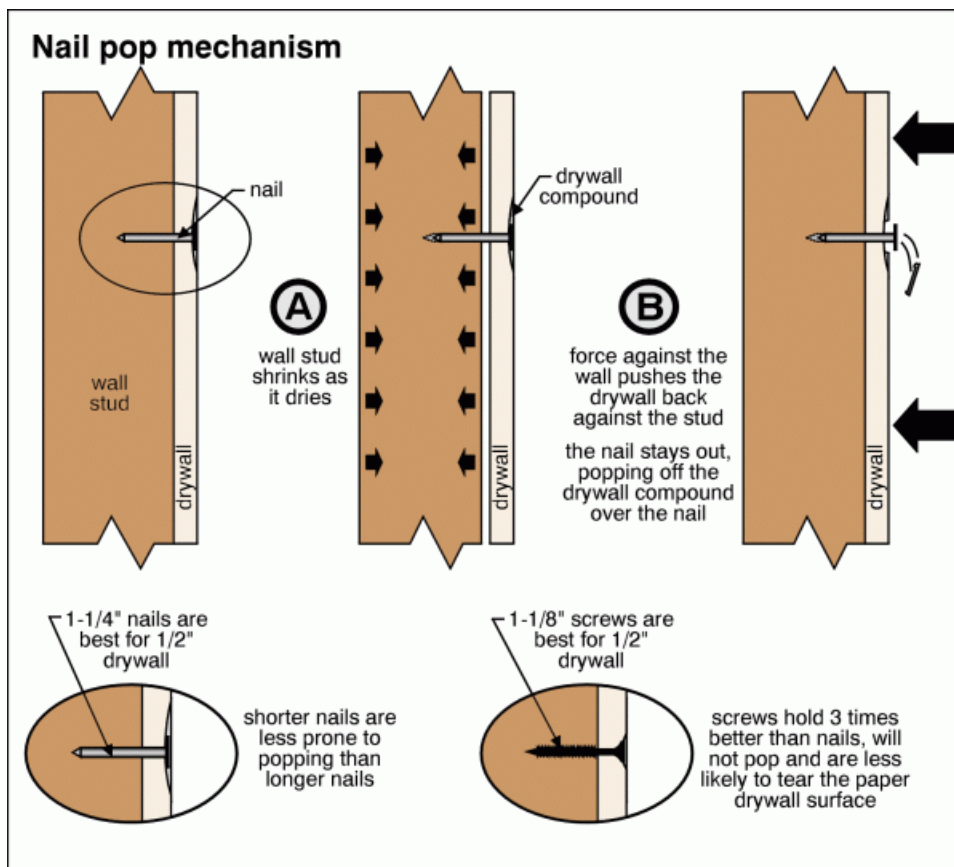
**Not included as part of a building inspection:** • Carbon monoxide detectors, security systems, central vacuum

## Recommendations

**CEILINGS \ Plaster or drywall**

**54. Condition:** • [Nail pops](#)





**55. Condition:** • [Textured ceilings in poor locations](#)

Stipple over showers and near kitchen sink

**Implication(s):** Material deterioration

**Location:** Various Kitchen Bathroom

**Task:** Improve

**Time:** Discretionary

**WALLS \ Plaster or drywall**

**56. Condition:** • [Typical flaws](#)

**FLOORS \ General**

**57. Condition:** • [Mechanical damage](#)

**Implication(s):** Trip or fall hazard

**Location:** Various

**Task:** Repair or replace

**Time:** Discretionary

**58. Condition:** • Worn

**FLOORS \ Carpet on floors**

**59. Condition:** • [Stains](#)

**Location:** Various

**Time:** Discretionary

**60. Condition:** • [Lifted at seams or edges](#)

**Implication(s):** Trip or fall hazard

**Location:** Various

**Task:** Improve

**Time:** When necessary

## WINDOWS \ General

**61. Condition:** • [Air leaks](#)

**Implication(s):** Leakage

**Location:** Throughout

**Task:** Improve

**Time:** Discretionary

**Cost:** Major

**62. Condition:** • [Original lower quality units](#)

**Implication(s):** Increased heating costs | Increased maintenance costs

## WINDOWS \ Hardware

**63. Condition:** • [Broken](#)

**Implication(s):** System inoperative or difficult to operate

## EXHAUST FANS \ Exhaust Fan

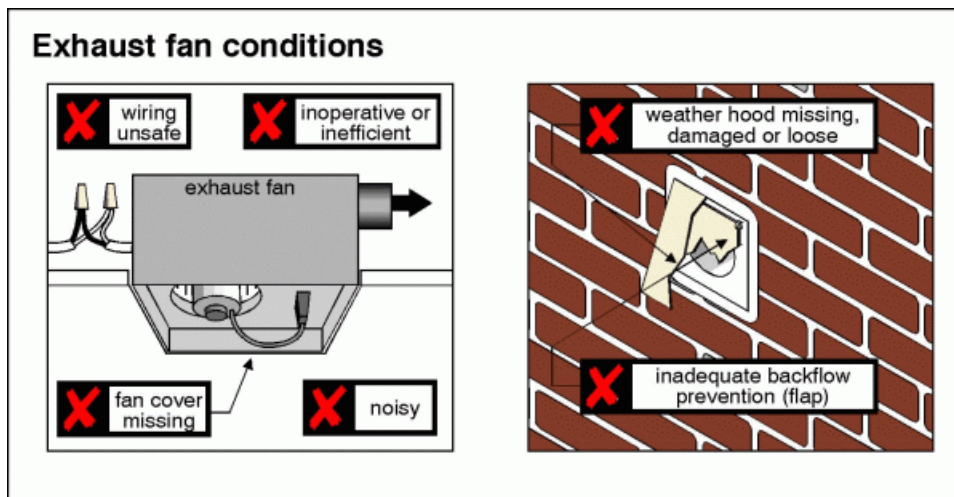
**64. Condition:** • [Inadequate air movement](#)

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Bathroom

**Task:** Repair or replace

**Time:** Less than 1 year



## **EXHAUST FANS \ Kitchen range exhaust system**

**65. Condition:** • Old

motor tired on fan

**Implication(s):** Reduced system life expectancy

**Location:** Bathroom

**Time:** Discretionary



**33.** *Old*

**66. Condition:** • Dirty filter

Dirty Filter, Rust & Noisy

**Implication(s):** Equipment ineffective

**Location:** Kitchen

**Task:** Service Clean

**Time:** When necessary

# INTERIOR

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34. *Dirty filter*

**END OF REPORT**



The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS